

NOTICE OF MEETING

PLANNING AND COMMUNITY CONSULTATION COMMITTEE

Members of the Planning and Community Consultation Committee are advised that a meeting of the Committee will be held in the Council Chambers, 83 Mandurah Terrace, Mandurah on:

**Tuesday 11 July 2023
at 5.30pm**

MARK R NEWMAN
Chief Executive Officer
5 July 2023

Committee Members

Councillor D Pember [Chairperson]
Mayor R Williams
Councillor B Pond
Councillor J Green
Councillor D Wilkins
Councillor R Burns

Councillor A Kearns
Councillor C Knight
Councillor P Jackson
Councillor A Zilani
Councillor D Schumacher

AGENDA

1 OPENING OF MEETING AND ANNOUNCEMENT OF VISITORS

2 APOLOGIES

3 IMPORTANT NOTE:

Members of the public are advised that the decisions of this Committee are referred to Council Meetings for consideration and cannot be implemented until approval by Council. Therefore, members of the public should not rely on any decisions of this Committee until Council has formally considered the resolutions agreed at this meeting.

4 RESPONSES TO QUESTIONS TAKEN ON NOTICE

5 AMENDMENT TO STANDING ORDERS

Modification to *Standing Orders Local Law 2016* - electronic attendance at meeting.

6 PUBLIC QUESTION TIME

Public Question Time provides an opportunity for members of the public to ask a question of Council. For more information regarding Public Question Time please visit the City's website mandurah.wa.gov.au or telephone 9550 3787.

7 PRESENTATIONS

7.1 Draft Public Open Space Policy

7.2 Port Quay Carpark – to be presented at item 15

8 DEPUTATIONS

Any person or group wishing to make a Deputation to the Committee meeting regarding a matter listed on this agenda for consideration must complete an application form. For more information regarding making a deputation please visit the City's website mandurah.wa.gov.au or telephone 9550 3787.

NB: Persons making a deputation to this Committee meeting will not be permitted to make a further deputation on the same matter at the successive Council meeting, unless it is demonstrated there is new, relevant material which may impact upon the Council's understanding of the facts of the matter.

9 CONFIRMATION OF MINUTES: 9 NOVEMBER 2022

Minutes available on the City's website via mandurah.wa.gov.au/council/council-meetings/agendas-and-minutes

10 DECLARATIONS OF FINANCIAL, PROXIMITY AND IMPARTIALITY INTERESTS**11 QUESTIONS FROM COMMITTEE MEMBERS WITHOUT DISCUSSION**

11.1 Questions of which due notice has been given

11.2 Questions of which notice has not been given

12 BUSINESS LEFT OVER FROM PREVIOUS MEETING**13 REPORTS:**

No.	Item	Page No	Note
1	Proposed Storage Facility Lot 107 & 123 Wattleghen Avenue, Erskine	3-17	
2	Proposed Amendment No 2 – Local Planning Scheme 12, Lot 9001 Beacham St, Coodanup, Additional Use, Restaurant/Cafe	18-27	

14 LATE AND URGENT BUSINESS ITEMS**15 CONFIDENTIAL ITEMS****16 CLOSE OF MEETING**

1 SUBJECT: Proposed Storage Facility
Lot 107 & 123 Wattleglen Avenue, Erskine
DIRECTOR: Business Services
MEETING: Planning and Community Consultation Committee
MEETING DATE: 11 July 2023

Summary

The City has received a development application proposing a warehouse/ storage land use at Lots 107 & 123 Wattleglen Avenue, Erskine. As the property is zoned 'Service Commercial' under the provisions of the City of Mandurah's Local Planning Scheme 12 (the Scheme), the proposed use of a 'Storage Facility' is considered permitted. Under the provisions of the *Planning and Development (Local Planning Schemes) Regulations*, clause 2 b (ii), if there were no works proposed, no planning approval would be necessary as the use is exempt. Given there are works, however and based on the scale of the proposed development and the proximity to existing housing, the City advertised the proposal.

Through this advertising, the City received two objections and in accordance with Delegation DA-PAD 02 Council is required to determine the development application. Delegation DA-PAD 02 provides conditions of the delegated authority that require there to be no objections to proposals consisting of non-residential development.

Through the officer assessment outlined in this report, it is recommended that Council approve the proposed development subject to conditions.

Disclosure of Interest

Nil

Location



Property Details

Applicant:	MW Urban Planning and Development
Owner:	Capella Investments (WA) Pty Ltd M & C F Venditti Pty Ltd
Scheme No 12 Zoning:	Service Commercial
Peel Region Scheme Zoning:	Urban
Lot Size:	Lot 107 = 3000m ² Lot 123 = 4972m ² Total = 7972m ²
Topography:	Predominantly flat
Land Use:	Currently vacant

Previous Relevant Documentation

- Nil

Background

The subject sites are currently vacant, previous development approvals were issued to Lot 107 Wattle Glen which included a recreational facility in 2008 and multiple dwellings in 2003. It is noted that the Western Australian Planning Commission (WAPC) recently approved the amalgamation of Lot 107 & Lot 123 Wattle Glen Avenue dated 27 May 2023.

The adjoining Service Station was approved in June 2020 with that portion later excised through subdivision.

Comment

Proposed Development

The applicant seeks to develop a Self-storage facility consisting of:

- 2 storage buildings comprising 7,727m² of storage space
- Office
- 40 car bays

The applicant intends to have a 24 hours a day 7 days a week operation. Proposed site plans, floor plans and elevations are provided in *Attachment 1.1*.

Land use and Planning Framework

With respect to land use, a 'Warehouse/ Storage facility' is a 'P' use (permitted) within the Service Commercial zone of The Scheme. While it is noted submissions were received.

Built Form

Schedule 1 of The Scheme outlines the zone requirements for the Service Commercial areas:

Criteria	Proposed	Officer Comment
Minimum setbacks:	Building A	
Primary street - 6 metres		

<p>Secondary street - 3 metres Side and rear - nil</p> <p>Where a site adjoins residential development the setback requirements shall be in accordance with the R-code of the adjoining site.</p>	<ul style="list-style-type: none"> • Primary street – 6m setback • Secondary street – n/a • Side and rear – n/a <p>Building B</p> <ul style="list-style-type: none"> • Primary street – 2.2m setback • Secondary Street – 3m setback • Side and Rear - The building wall adjacent the northern boundary, abutting the Residential R40 development requires a 3.3 metre setback, based on the building height and wall length. The proposal provides for a 5 metre setback to the residential development. 	<p>Compliant</p> <p>Officers support the reduced primary street setback based on the extensive verge depth and extensive landscaping within the verge provided. In addition, officers consider a reduced primary street setback to facilitate a larger rear setback abutting residential more appropriate.</p> <p>Compliant</p> <p>Greater setback than required and considered beneficial to residential interface.</p>
<p>Open space and landscaping</p> <p>A minimum of 10% of the site shall be set aside for open space and landscaping, excluding car parking and manoeuvring areas.</p> <p>A minimum 3m landscaping strip shall be provided within the front setback.</p>	<ul style="list-style-type: none"> • 9.6% landscaped, • Landscaped strip varies between 0.9 metres -3 metres 	<p>Note the dimensions provided within the rear buffer residential allows more substantial planting and additional verge treatment compensated the slight shortfall.</p> <p>Extensive landscaping provided and as noted above, in a more appropriate and meaningful location abutting residential properties.</p>

The Scheme is silent on building height restrictions within the Service Commercial zoning, however it is noted this was an element of concern raised through the submissions received.

The building includes wall heights of 6.6 metres which is consistent with a two-storey built form. By way of context the neighbouring Service Station pylon sign is approved at 8 metres, the canopy reaches a height

of 6.35 metres and the shop component is at 6 metres. It is considered that the height is in context with the surrounding area.

Access, Traffic Generation and Car Parking

Access is proposed from Wattleglen Avenue allowing vehicles to enter and exit the site in forward movement. The access is considered to be in the best location to accommodate traffic flow, away from residential development and it is noted there is no vehicle access on Binnar Court.

Consideration has been given to the concern regarding increased traffic raised during the submission period, however the City's Engineers have reviewed the proposed plans and have not required the submission of a traffic impact statement (TIS). This is largely due to the location of the vehicle entry and exit off Wattleglen Avenue, away from residential development along Binnar Court.

The proposed land use is considered by City officers to have minimal impact on the current road network and capacity of Wattleglen Avenue due to the low vehicle movements associated with the proposed development.

Schedule 2 Parking Requirements within The Scheme stipulates the requirement for 1 parking bay per 50m² of net lettable floor area, resulting in the requirement of 154 bays. This number is considered to be excessive for the use proposed based on the nature of the services to be provided. In essence the self-service nature of such facilities operates such that people who rent them would visit on an ad hoc basis and often infrequently.

The 5 external bays are expected to be utilised by customers undertaking administrative tasks or visiting storage facilities for small disposals / collections. The 35 internal bays are considered by City officers to adequately cater for larger delivery vehicles and those towing trailers. Manoeuvrability and location of these bays have not been raised as concerns by the City Engineering officers.

Consideration has been given to similar developments within the Galbraith Loop Industrial complex and the General Industry zone within Greenfields. The subject application is proposing a number of parking bays consistent with the storage facility approved at Lot 161, No 34 Thornborough Road which provides 44 bays and a separate area for vehicle and machinery storage. It should be noted the Thornborough Road development consists of an increased net lettable floor area which required more bays at the time of the assessments. Each stage of the development at 34 Thornborough Road was approved with a parking shortfall as a result of the nature of the development using a similar position and there has not been records of parking issues arising.

In summary, the proposed land use is considered to generate minimal traffic movements and therefore minimal visits by storage unit lessees, resulting in negligible adverse impacts on the existing road network and surrounding residential development.

Noise

City of Mandurah Health officers have raised no major concerns regarding potential noise emissions during the day due to the passive nature of the development however City officers have requested an acoustic report to satisfy the request for 24-hour operation, given that the proposal is adjoining and adjacent to residential dwellings and noise concerns were raised in both submissions.

Without understanding of the specific use of the structures it is difficult to assess the expected noise impact. It is proposed to apply a condition to require the applicant to submit a Noise Management Plan prepared by a qualified acoustic consultant detailing measures to ensure no adverse noise impacts prior to occupation.

The Noise Management Plan would include matters such as operating hours, noise from the opening of doors etc, and restrictions on activities undertaken within the structures to ensure compliance with the *Environmental Protection (Noise) Regulations 1997*.

Waste Management

A Waste Management Plan was requested as part of the assessment which has been accepted and considered approved by the City Waste Management officers.

Advertising Signage

All signage has been assessed against Local Planning Policy 2 – Signage (LPP2).

LPP2 stipulates a maximum of one wall sign per elevation with a maximum height of 1.2 meters and a width which does not exceed two thirds the length of the tenancy or building frontage, whichever is the lesser.

The number of signs (refer to *Attachment 1.1*) proposed as well as the signage heights are inconsistent with LPP2 and as such City officers have recommended the following:

- The sign located on the south west elevation (fuel forecourt) to be removed.
- All other wall signs, excluding the office sign be reduced to no more than 2.5 metres in height.
- The office building sign to be reduced to no more than 1.5 metres in height.

The above amendments are considered to reduce the visual intrusiveness of the branding and allow for extensions of the proposed architectural features. The proposed amendments above are considered by City officers to remain compatible with the scale and design of the building whilst being sympathetic to the character of the locality. At this point the suggested signage amendments are not supported by the applicant, however, City officers recommend the proposed amendments to the application.

Landscaping

The proposed development includes a total landscaped area of 766.6m² (9.6%) in lieu of 797.2m² (10%) requirement. The proposed 30.6m² shortfall in landscaping is considered to be covered through the extensive verge upgrades and additional planting within the verge. In addition to the verge upgrade, it is noted the landscaping is provided in comparatively large blocks / areas, through the 5 metre wide rear buffer separating the development from existing residential development. The dimensions of this buffer area allow for substantial and meaningful vegetation and landscaping that is sometimes less available. As a result of this the shortfall is considered acceptable.

City Landscape officers have reviewed the landscape plan (refer to *Attachment 1.2*) and advised that the tree species are appropriate however have requested the following amendments:

- additional trees are to be planted within the secondary street verge to partially compensate the large number of trees (over 50) proposed to be removed to facilitate the development.
- The *Carpobrotus* be removed from the plant list as it is not supported within the verge. This is to be replaced with another flowering native species such as *Eremophila*.

These modifications are captured within the recommended conditions.

MEAG Comment

This item does not have any impact on the natural environment and therefore has not been referred to Mandurah Environmental Advisory Group for comment.

Consultation¹

The proposal was advertised to 22 surrounding properties for a period of 14 days between 11 May 2023 and 25 May 2023. Two submissions were received and have been recorded together with comments below.

The main concerns raised are in relation to land use, noise and traffic which have explored in the body of this report.

Owner / Address	Submission (Summarised comments)	Comment
<p>1. Mark Laing 4 Binnar Court, Erskine</p> <p>Owner of Units 3,4,6 & 7 within the above strata complex</p>	<p>a. Proposed development is too high and too close to residential dwellings.</p> <p>b. Presents an increased noise, traffic, and security risk to surrounding properties.</p> <p>c. The land use is not suitable for the area and should be located within an industrial area.</p> <p>d. Impacts to adjoining property values and rental income.</p>	<p>a. Statutory planning framework does not set maximum wall height however City officers have applied the provisions of the Galbraith Loop precinct design guidelines and policy which was revoked upon gazettal of LPS 12.</p> <p>b. City Engineering officers have not raised concerns regarding traffic impacts given the expected low visitation rates. Noise is to be controlled via operating hour restrictions and the requirement for a noise management plan.</p> <p>c. The 'warehouse/storage' land use is permitted within the Service Commercial Zone in accordance with LPS 12.</p> <p>d. Not considered to be a material planning consideration.</p>
<p>2. Darran Johnson Unit 4/20 Binnar Court, Erskine</p>	<p>a. The proposal does not fit in with surrounding development.</p> <p>b. The proposed development is too high.</p>	<p>a. The 'warehouse/storage' land use is permitted within the Service Commercial Zone in accordance with LPS 12.</p> <p>b. Statutory planning framework does not set maximum wall height however City officers have applied the provisions of the Galbraith Loop precinct design guidelines and policy which was revoked upon gazettal of LPS 12.</p>

Internal Consultation

- Health Services
- Engineering Services
- Waste Management Services
- Landscape Services

Statutory Environment

- Planning and Development Act (2005)
- Planning and Development (Local Planning Schemes) Regulations 2015
- Local Planning Scheme 12

Policy Implications

- Local Planning Policy 2- Signage

Financial Implications

Nil.

Risk Analysis

Should the applicant feel aggrieved by the determination or any conditions imposed, then an appeal may be lodged with the State Administrative Tribunal.

Strategic Implications

The following strategies from the City of Mandurah Strategic Community Plan 2020 – 2040 are relevant to this report:

Organisational Excellence:

- Provide professional customer service and engage our community in the decision-making process.

Conclusion

The subject application proposes the development of a storage facility at Lot 107 & 123 Wattleglen Avenue, Erskine.

City officers consider that the proposed development is consistent with the objectives of the zone and that built form is consistent with the zone requirements of The Scheme and surrounding area. The built form is well screened, and attention has been given to landscaping and visual buffering. In summary, the proposal is considered a passive use with respect to the surrounding residential land, particularly and with other potentially more disruptive and incompatible uses that are acceptable in the 'Service Commercial' zone.

Whilst the concerns of residents are acknowledged, the proposal is considered unlikely to have a significant adverse impact on the amenity of the neighbouring properties to warrant refusal of the proposal. The proposed conditions applied to the development are considered to adequately control development outcomes.

NOTE:

- Refer ***Attachment 1.1 Proposed Site and Elevation Plan***
Attachment 1.2 Landscaping Plan
Attachment 1.3 Waste Management Plan

RECOMMENDATION

That the Planning and Community Consultation Committee recommend that Council in accordance with Clause 68(2) of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (Deemed Provisions for Local Planning Schemes), grant development approval for a proposed Warehouse/ Storage Premises at Lot 107 & 123 Wattleglen Avenue, Erskine, subject to the following conditions:

1. The development shall be carried out and fully implemented in accordance with the details indicated on the stamped approved plan(s) unless otherwise required or agreed in writing by the City of Mandurah. Including the following modifications indicated on the stamped approved plans with red ink:
 - a) The sign attached to the Southwest Elevation (Fuel Forecourt) shall be removed.
 - b) The Office sign shall be reduced to no more than 1.5m in height.
 - c) All other signs shall be reduced to no more than 2.5m in height.
2. The approved Waste Management Plan (refer to Attachment 1.3) must be implemented, to the satisfaction of the City of Mandurah, for the life of the development.
3. Prior to construction a Noise Management Plan prepared by a suitably qualified acoustic consultant shall be submitted and approved by the City of Mandurah. Once approved the Noise Management Plan shall be implemented to the satisfaction of the City of Mandurah.
4. All uncovered car parking bays to be in accordance with Australian Standard AS2890.1. Any bays adjacent to kerbs or for those bays that are to be used for disabled parking, shall be in accordance with Australian Standards AS1428.1.
5. No parking except in marked bays or display of vehicles and/or equipment is to occur within the road verge area at any time.
6. All services (e.g air conditioners, water metres, hot water storage systems etc) shall be designed to be integrated into the building design and/or screened from surrounding properties to the satisfaction of the City of Mandurah.
7. All signage shall be kept clean and maintained free of dilapidation at all times to the satisfaction of the City of Mandurah.
8. All glazed surfaces shall be clear and free of posters, decals, heavy tinting or any other visual obscuring which prevents a clear view into the building, unless otherwise agreed in writing by the City of Mandurah.
9. Prior to the commencement of the use/development, the external finish of the parapet wall shall be painted with anti-graffiti coating to a minimum height of (3 metres) to the satisfaction of the City of Mandurah.
10. Security, building, signage and carpark lighting must be located, designed and installed to prevent excess light spillage from the development. Reference should be made to AS4282 Control of the obtrusive effects of outdoor lighting and other relevant lighting standards.
11. Prior to the commencement of site works, a Construction Management Plan shall be submitted to and approved by the City of Mandurah. The Plan must detail how the site will be managed during and after works are completed, in order to minimise issues associated with dust/sand, erosion, noise, vibration, traffic and general construction issues. The approved plan must thereafter be implemented to the satisfaction of the City of Mandurah.
12. Prior to the commencement of site works, a schedule of the colour and texture of the building materials, demonstrating that the proposed development complements the surrounding area, must be submitted to and approved by the City of Mandurah. The development must be finished, and thereafter maintained, in accordance with the schedule provided to and approved by the City of Mandurah, prior to occupation.
13. The Landscape plan shall be updated in the following manner:

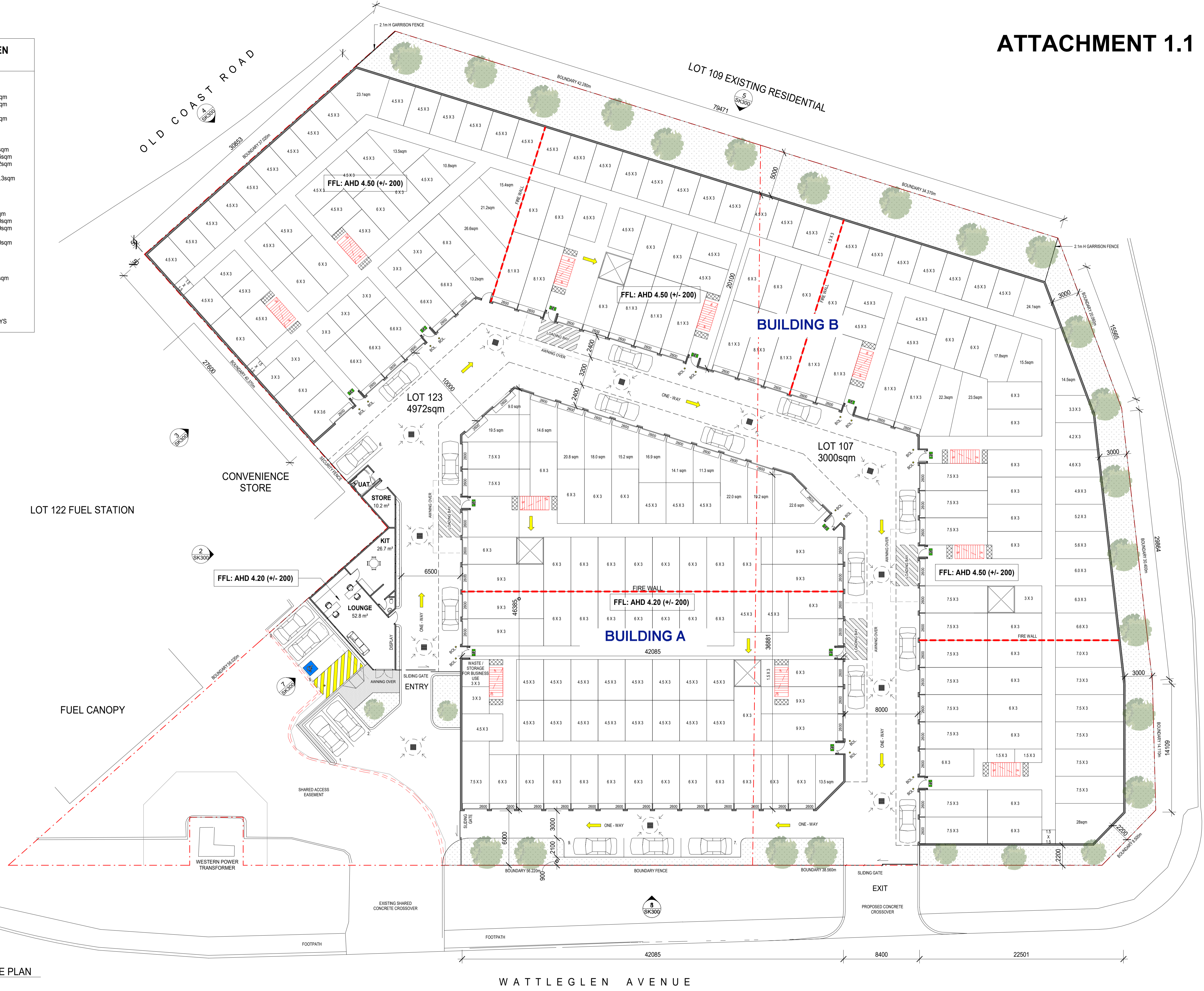
- a) The verge species proposed shall replace 'Carpobrotus' with an alternative flowering native species such as 'Eremophila' unless otherwise agreed.
 - b) An additional four mature native street trees shall be planted within the secondary street verge to the satisfaction of the City of Mandurah.
 - c) Notification being added to the plan that any species which fail to establish within the first two planting seasons following implementation must be replaced.
14. The amended Landscape plan shall be submitted to and approved by the City of Mandurah prior to commencement of site works and thereafter fully implemented to the satisfaction of the City of Mandurah.
15. Prior to occupancy, the proposed development shall be connected to sewer to the satisfaction of the City of Mandurah.
16. Prior to occupancy, vehicle parking, manoeuvring and circulation areas shall be suitably constructed, sealed, drained, kerbed, marked (including loading and disabled bays), and thereafter maintained to the specification and satisfaction of the City of Mandurah.
17. Prior to occupancy, a vehicle crossover is to be constructed to the specification and satisfaction of the City of Mandurah. Once constructed, the vehicle cross over shall be maintained at all times to the satisfaction of the City of Mandurah. During construction, the existing landscaping, footpaths, infrastructure and associated brick paved areas within the road reserve shall be protected and/or re-instated to the satisfaction of the City of Mandurah.

Advice Notes

1. Please note that the landowner may have responsibilities under the [Aboriginal Cultural Heritage Act 2021](#) which must be satisfied prior to the commencement of any development. The City of Mandurah is not the agency responsible for enforcement of the Act, all enquiries should be directed to the Department of Planning, Lands and Heritage (DPLH) on (08) 6551 8002 or Aboriginalheritage@dplh.wa.gov.au. Further information is available at the DPLH website: <https://www.wa.gov.au/organisation/departments-of-planning-lands-and-heritage/aboriginal-cultural-heritage-act-2021>.
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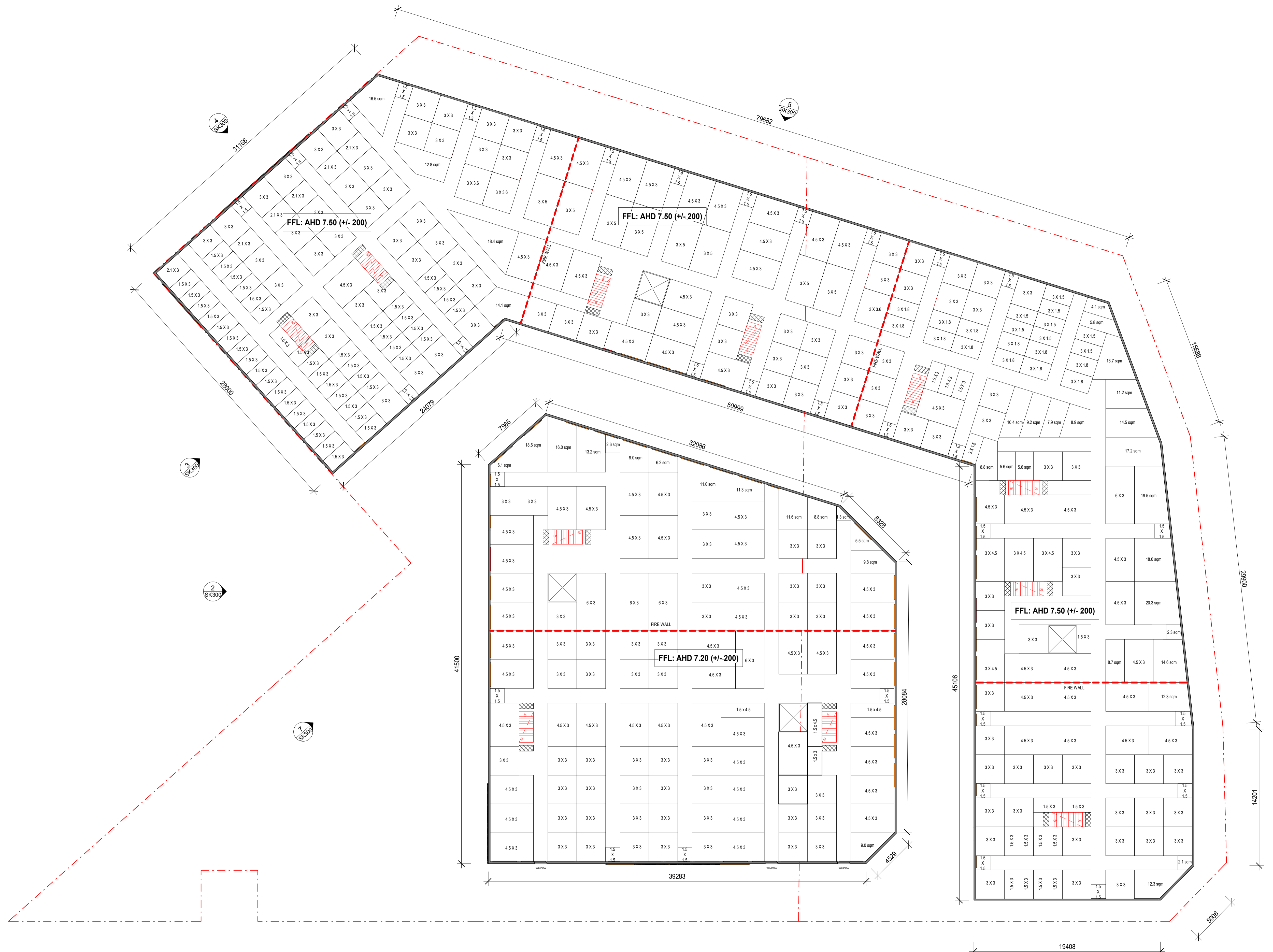
ATTACHMENT 1.1

LOTS 123 & 107 WATTLEGLAN AVENUE, ERSKINE	
AREAS	
LOT 123	4972sqm
LOT 107	3000sqm
COMBINED LOT AREA	7972sqm
GROSS FLOOR AREA	
OFFICE	106.5sqm
STORAGE (SOUTH BUILDING)	3495.6sqm
STORAGE (NORTH BUILDING)	6543.2sqm
TOTAL	10145.3sqm
NET LETTABLE AREA	
OFFICE	99.1sqm
STORAGE (SOUTH BUILDING)	2666.0sqm
STORAGE (NORTH BUILDING)	4961.9sqm
TOTAL	7727.0sqm
LANDSCAPING AREA	
TOTAL LANDSCAPE AREA	766.6sqm
LANDSCAPE %	9.6%
PARKING CAPACITY	
TOTAL BAYS PROVIDED	40 BAYS

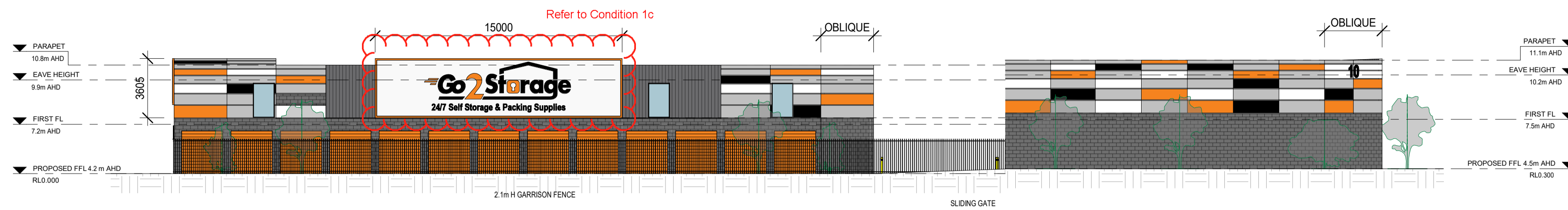


1 PROPOSED SITE PLAN
SCALE 1:200

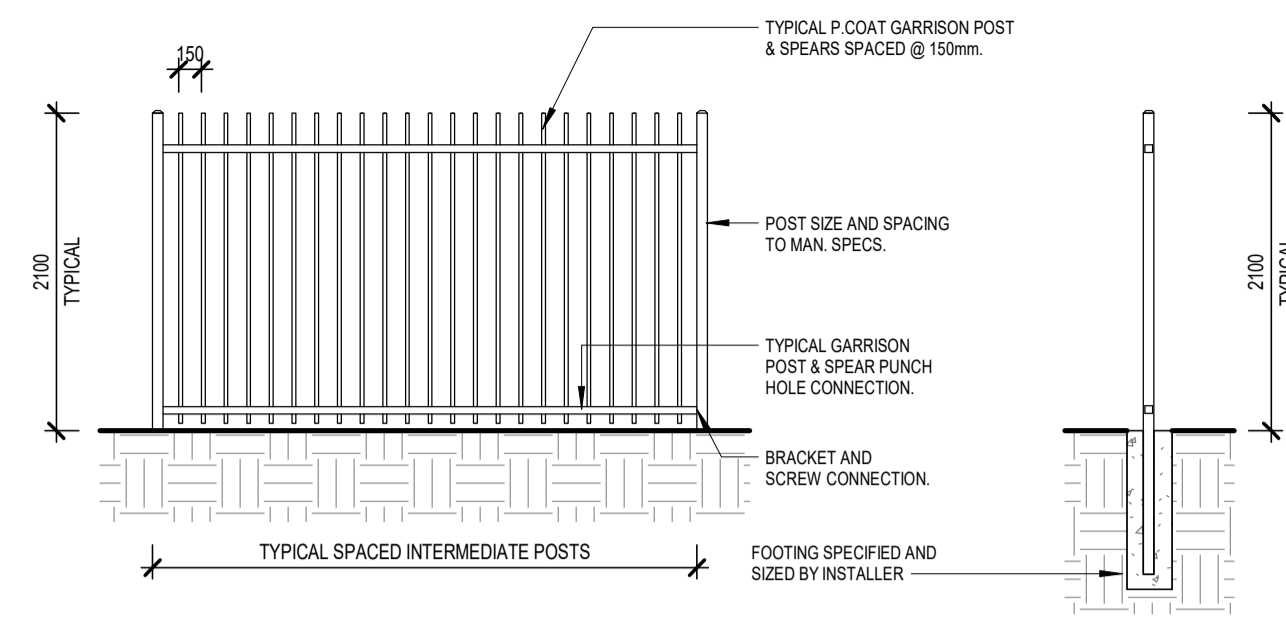
WATTLEGLAN AVENUE



1 UPPER FLOOR PLAN
SCALE 1 : 200



1 SOUTH ELEVATION (WATTLEGLEN AVE)
A002 SCALE 1 : 200

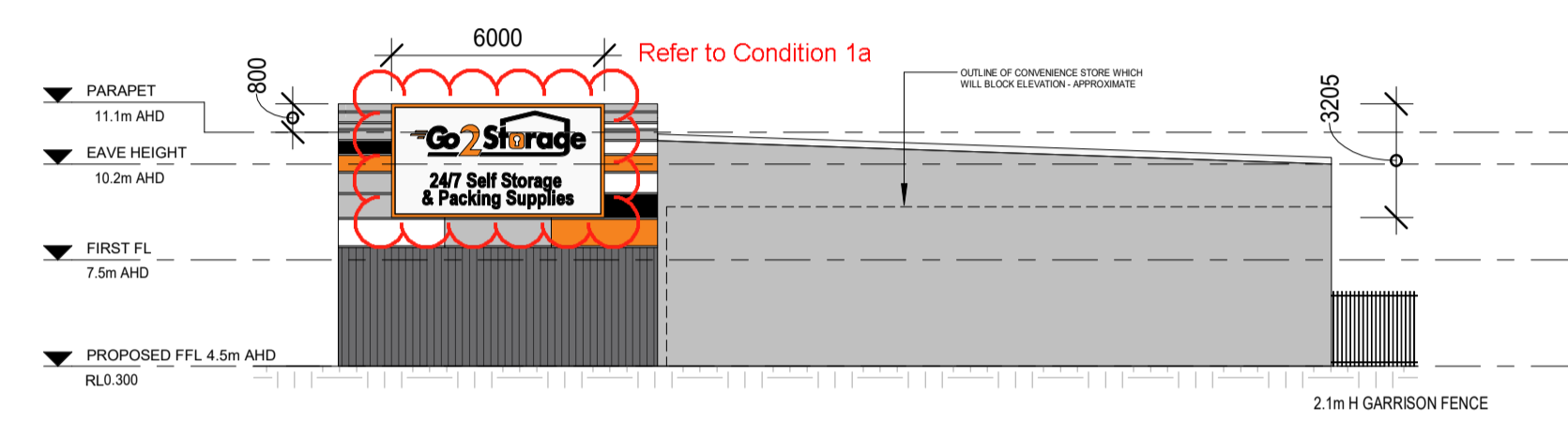


TYP. GARRISON FENCE DETAIL
SCALE 1 : 50

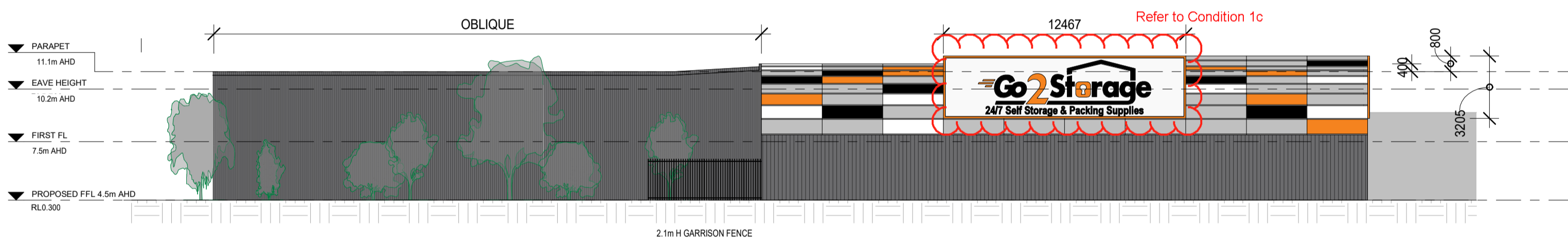
FINISHES SCHEDULE	
	ROOF COLOUR: COLORBOND SURFMIST
	WALL SHEETING: COLORBOND BASALT
	ROLLER DOOR: MANDARIN ORANGE
	ROLLER DOOR (HOST): POPPY READ
	PAINT FINISH: DULUX VIVID WHITE
	PAINT FINISH: TO MATCH GO2 STORAGE LOGO
	PAINT FINISH: TO MATCH GO2 STORAGE LOGO
	BRICKS FACING WATTLEGLEN AVE MIDLAND BRICK MANOR RANGE SHALE
	FENCING: 2.1m H GARRISON FENCE, BLACK



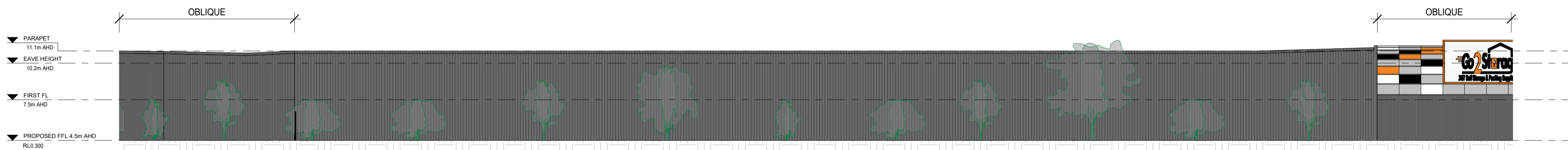
2 WEST ELEVATION (FUEL FORECOURT)
A002 SCALE 1 : 200



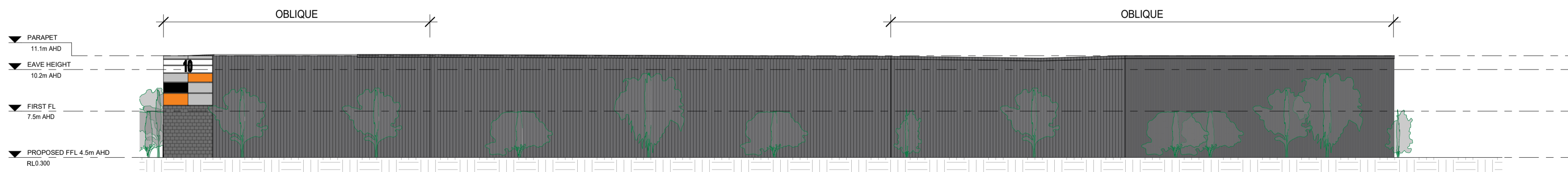
3 SOUTH WEST ELEVATION (FUEL FORECOURT)
A002 SCALE 1 : 200



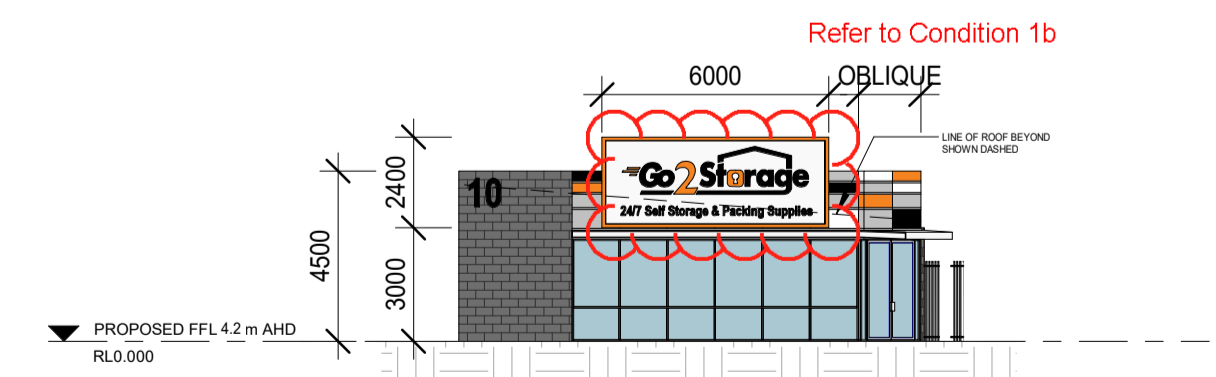
4 NORTH WEST ELEVATION (OLD COAST ROAD)
A002 SCALE 1 : 200



5 NORTH EAST ELEV (SCREENED BY LANDSCAPING)
A002 SCALE 1 : 200



6 EAST ELEVATION (SCREENED BY LANDSCAPING)
A002 SCALE 1 : 200



7 OFFICE ELEVATION
A002 SCALE 1 : 200

ATTACHMENT 1.2

LANDSCAPE PLAN DRAWING INDEX

23245_01 LANDSCAPE PLAN
23245_02 PLANTING SPECIFICATIONS AND TYPICAL DRAWINGS

PLANT SCHEDULE

Symbol	Code on plan	Botanic Name	Mature height x width	Minimum installation size	Plant Numbers
TREES					
	Ba	Banksia ashbyi	8m x 3m	15 Litres	3
	Cp	Callitris preissii	6m X 3m	15 Litres	7
	Cf	Corymbia ficifolia	8m x 6m	15 Litres	4
	Ed	Eucalyptus decipiens	9m x 3m	15 Litres	4
	Ee	Eucalyptus erythrocoryps	8m x 5m	15 Litres	5
SHRUBS					
	Cv	Callistemon viminalis 'Slim'	3m x 1.3m	13cm	28
	Cq	Calothamnus quadrifidus	2.5m x 2.5m	13cm	5
	Sa	Syzygium australe 'Pinnacle'	10m x 1.5m	13cm	38
	Tr	Templetonia retusa	2m x 2m	13cm	7
	Wd	Westringia dampieri	1.5m x 1m	13cm	6
GROUND COVER					
	Bd	Banksia dallanneyi	50cm x 3m	13cm	25
	Cvir	Carpobrotus virescens	30cm x 3m	13cm	16
	Dd	Dampiera diversifolia	50cm x 1m	13cm	20
	Eg	Eremophila glabra prostrata	30cm x 3m	13cm	22
	Gc	Grevillea crithmifolia prostrata	30cm x 2m	13cm	61
	Kp	Kennedia prostrata	10cm x 3m	13cm	13
	Sc	Scaevola crassifolia prostrata	50cm x 2m	13cm	32
TOTAL					296



EXISTING TREE LEGEND	
	Trees to be retained (12). *
	Trees/shrubs to be removed (322).

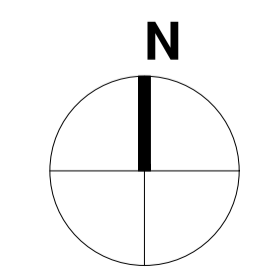
* EXISTING TREES TO BE RETAINED ARE TO BE PROTECTED AS PER CITY OF MANDURAH STANDARD DRAWING LN-34/2 'TREE PROTECTION REQUIREMENTS' AND THE ARBORIST REPORT.

LANDSCAPING AREA	
TOTAL LANDSCAPE AREA	766.6sqm
LANDSCAPE %	9.6%



C	DEVELOPMENT APPLICATION	AC	AC	24.03.2023
B	DEVELOPMENT APPLICATION	AC	AC	17.03.2023
A	DEVELOPMENT APPLICATION	AC	AC	15.03.2023
revision/issue	description	drawn	checked	date
project	PROPOSED STORAGE FACILITY	drawn	checked	description
location	6-10 WATTLEGLEN AVENUE, ERSKINE	checked	checked	LANDSCAPE PLAN
scale	1:250	date	15.03.2023	
project no	23245	project no	01	
drawn	@A1	rev	03	

URBAN RETREAT GARDEN DESIGN
COMMERCIAL AND RESIDENTIAL LANDSCAPE DESIGN SERVICES
www.urbanretreatgardens.com.au
E:amelia@urbanretreatgardens.com.au
M:0438 926 313



INSTALLATION SPECIFICATIONS

1. TREE AND PLANT MATERIAL SUPPLY AND PLANTING

- 1.1 PLANT MATERIAL
- ALL PLANT MATERIAL SUPPLIED BY THE CONTRACTOR SHALL FROM REPUTABLE GREENLIFE SUPPLIERS, TO THE SPECIES, SIZES, AND QUALITY AS SPECIFIED ON PLANT SCHEDULE.
 - LABEL AT LEAST ONE SPECIMEN OF EACH SPECIES OR VARIETY WITH A DURABLE, READABLE TAG.
 - GREENLIFE MUST BE WELL KEPT: OUT OF FULL SUN, AWAY FROM ANIMALS AND PESTS AND ROOTS NOT ALLOWED TO DRY OUT.

- 1.2 PLANT MATERIAL QUALITY
- ALL PLANT MATERIAL SHALL:
 - BE TRUE TO SPECIES, SUBSPECIES AND VARIETY
 - BE VIGOROUS AND HEALTHY
 - BE OF GOOD FORM CONSISTENT WITH SPECIES AND VARIETY
 - BE WELL ESTABLISHED IN THE PLANT CONTAINER SPECIFIED
 - NOT BE SOFT OR PRODUCED USING FORCED GROWING TECHNIQUES
 - BE HARDENED OFF
 - BE FULLY SELF-SUPPORTING WITHOUT STAKING OR GUYING
 - BE FREE FROM DISEASE, INSECT PESTS AND OTHER PATHOGENS
 - BE FREE FROM DAMAGE FROM STAKING, TYING OR ANY OTHER HORTICULTURAL TECHNIQUES USED THROUGHOUT PRODUCTION.

- 1.3. GENERAL PLANTING INSTRUCTIONS
- SETTING OUT OF WORKS WHERE UNDERGROUND SERVICES, MANHOLES, CABLE PITS, KERBING, PAVING AND OTHER OBSTRUCTIONS OCCUR, PLANT CLEAR OF SUCH SERVICES AND OBSTRUCTIONS AND PROTECT SERVICES AND OBSTRUCTIONS FROM DAMAGE BY MACHINES AND EQUIPMENT.
 - REMOVE ALL PLANTS FROM THEIR CONTAINERS, INCLUDING ALL BIODEGRADABLE CONTAINERS AND GROWING TUBES, IN SUCH A MANNER AS TO DO AS LITTLE DISTURBANCE AS POSSIBLE TO THE ROOTS. WHERE NECESSARY, TEASE OUT ROOT-BALLS BEFORE PLANTING. PLACE TREES, SHRUBS AND PLANTS IN HOLES IN AN UP-RIGHT POSITION AND BACKFILL LEVEL WITH TOP OF ROOT-BALL. COMPACT SOIL BY HAND.

- 1.4 PLANTING CONDITIONS
- DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN.

- 1.5 SOIL CONDITIONER
- AFTER SITE WORKS AND BEFORE PLANTING SUPPLY AND INSTALL TO ALL PLANTING AREAS. SOIL CONDITIONER SHALL COMPLY WITH AS4419-2003 SOILS FOR LANDSCAPING AND GARDEN USE AND AS4454-2003 COMPOSTS, SOIL CONDITIONERS AND MULCHES. THE INDIVIDUAL ELEMENTS OF THIS MIX SHALL BE COMBINED THOROUGHLY TO FORM A BALANCED PRODUCT FREE FROM LUMPS AND ANY OTHER DELETERIOUS MATTER
 - PRIOR TO PLACEMENT ENSURE ALL BASE MATERIAL IS CLEAN, FREE DRAINING AND FREE OF ALL BUILDER'S RUBBLE, RUBBISH, DELETERIOUS MATERIAL AND CONTAMINATION. ALL AREAS CONTAMINATED BY THE BUILDER OR OTHERS SHALL BE REMOVED AND REPLACE WITH CLEAN FILL SAND TO THE APPROVAL OF THE SUPERINTENDENT.
 - PLACE SOIL CONDITIONER TO A DEPTH OF 15MM OVER THE FULL EXTENT OF AREAS TO BE CONDITIONED. ROTARY-HOE OR SPADE DIG WHERE NECESSARY. SOIL CONDITIONER INTO EXISTING SITE SOIL TO A DEPTH OF 80MM TO PRODUCE A FULLY HOMOGENEOUS MIX. REMOVE ALL RUBBLE OR OTHER EXTRANEIOUS AND DELETERIOUS MATTER EXPOSED AS A RESULT OF CULTIVATION, INCLUDING ANY BASE COURSE MATERIAL.
 - SOIL CONDITIONER SHALL COMPLY WITH AS4454COMPOSTS, SOIL CONDITIONERS AND MULCHES.

- 1.6 DEPTH OF PLANTING
- WHEN THE PLANT IS IN ITS FINAL POSITION IN ITS HOLE OR BED, THE TOPSOIL LEVEL OF THE PLANT ROOT-BALL SHALL BE LEVEL WITH THE FINISHED SURFACE OF THE SOIL SURROUNDING THE HOLE OR BED. TEST THE DEPTH BY MEASURING THE SIDES OF CONTAINERS. IF BACK FILLING IS REQUIRED TO CORRECT THE DEPTH, USE TOP SOIL.

- 1.7 PLANT PLACEMENT AND PLANTING
- WHEN THE HOLE APPEARS TO BE OF CORRECT SIZE, REMOVE THE PLANT FROM THE CONTAINER WITH MINIMUM DISTURBANCE TO THE ROOT-BALL, AND PLACE IT IN ITS FINAL POSITION, IN THE CENTRE OF THE HOLE AND PLUMB.
 - REFER DETAILS 'TYPICAL TREE PLANTING' AND 'TYPICAL SHRUB PLANTING'.

- 1.8 FERTILIZER TO AUSTRALIAN NATIVE PLANTS
- AT TIME OF BACK FILLING ALL PLANTS ARE TO RECEIVE APPROVED PROPRIETY ITEM OF EIGHT TO NINE MONTH SLOW-RELEASE FERTILIZER EQUAL OR EQUIVALENT TO "MACRACOTE GREY" NPK 8-1-8+TE.
 - FERTILIZER TO BE APPLIED IN BACKFILL (BELOW GROUND) DURING PLANTING AT THE MANUFACTURERS' RECOMMENDED RATE FOR THE RELATIVE PLANT SIZE, AND AT A MINIMUM RATE AS FOLLOWS:
 - 15 LITRE POT SIZE PLANTS TO HAVE TEN GRAMS
 - 13CM POT SIZE PLANTS TO HAVE FIVE GRAMS

- 1.9 BACK FILLING TO PLANTS
- BACKFILL WITH SOIL AS SPECIFIED. LIGHTLY TAMP DOWN THE SOIL AND WATER TO ELIMINATE AIR POCKETS.

- 1.10 WATERING BASINS WITH MULCH FOR TREES
- CONSTRUCT A WATERING BASIN AROUND THE BASE OF EACH INDIVIDUALLY PLANTED TREE, CONSISTING OF A RAISED RING OF SOIL CAPABLE OF HOLDING ~10 LITRES OF WATER. SUPPLY AND PLACE 80MM MULCH AS SPECIFIED TO THE EXTENT OF EACH WATERING BASIN AS PER DRAWING 'TYPICAL TREE PLANTING'.

- 1.11 MULCHING
- ALL GARDEN BED AREAS TO BE MULCHED TO A DEPTH OF 75MM MINIMUM. (SEE 2.MULCH)
 - ALL PLANT STEMS SHALL BE KEPT FREE FROM MULCH.

- 1.12 STAKING AND TYING
- PROTECT EACH TREE WITH TWO (2) 50 X 50 X 2000MM POINTED HARDWOOD STAKE SET 500MM INTO THE GROUND. LOCATE STAKES PARALLEL TO PREVAILING WIND DIRECTION ON SITE. DO NOT PIERCE ROOT BALL.
 - ALL STAKES SHALL BE PAINTED BLACK USING TWO COATS OF DULUX TIMBER COLOUR LOW SHEEN ACRYLIC.
 - ALL TIES SHALL BE APPROVED FLAT RUBBER TREE TIES OF MINIMUM WIDTH OF 10MM.

- 1.13 WATERING
- AT TIME OF PLANTING PROVIDE HAND WATERING TO EACH PLANT.
 - WATERING OF PLANTS BY SOLE RELIANCE ON THE IRRIGATION SYSTEM WILL NOT BE ACCEPTED UNTIL THE IRRIGATION SYSTEM IS PRACTICALLY COMPLETE.

- 1.14 TREE PLANTING
- REMOVE TREE BAG OR CONTAINER CAREFULLY TO PREVENT ROOT DAMAGE. EDGES OF THE ROOT BALL TO BE 'RUFFLED' TO REMOVE ANY ROOT CIRCLING / GIRDLING THAT MAY BE OCCURRING.
 - WATERING SHALL OCCUR AT THE SAME TIME AS THE PLANTING AND FIRING.
 - CONSTRUCT A 'BUND' AT THE EDGE OF THE COMPOST / MULCH ZONE TO AID IN WATER RETENTION WHERE LANDSCAPE SURROUNDS ALLOW.
 - AFTER PLANTING CONDITIONED SITE SOIL SHALL FINISH 120MM BELOW ADJACENT KERBING, PAVING AND TURF AREAS.

- 1.15 ROOT CONTROL BARRIER
- SUPPLY AND INSTALL ROOT CONTROL BARRIERS (RCB) EQUAL OR EQUIVALENT TO THAT SUPPLIED BY 'GREENWAY ENTERPRISES'.
 - BARRIER SHALL BE A MINIMUM WIDTH, AFTER INSTALLATION OF 600MM IN A SINGLE SHEET IN EITHER PANEL OR ROLL FORM. ALL JOINTS SHALL BE EITHER HEAT WELDED WITH A 25MM OVERLAP OR DOUBLE SIDED 50MM BUTYL TAPE (DOUBLE JOINTED SO THAT BOTH BARRIER ENDS ARE SECURE), AS RECOMMENDED BY THE MANUFACTURER.
 - THE RCB SHALL FINISH FLUSH WITH FINISHED ADJOINING PAVEMENT LEVELS.

- 1.16 CLEAN UP
- ON COMPLETION OF PLANTING ENSURE THAT ALL PLANTS ARE IN FIRST CLASS, PRESENTABLE CONDITION BY REMOVING DEAD, DAMAGED AND UNHEALTHY BRANCHES AND TRIMMING WHERE NECESSARY TO RESULT IN BALANCED GROWTH TYPICAL OF THEIR NORMAL FORM. AFTER INSPECTION BY THE SUPERINTENDENT AND ON PRACTICAL COMPLETION, REMOVE LABELS FROM PLANTS.

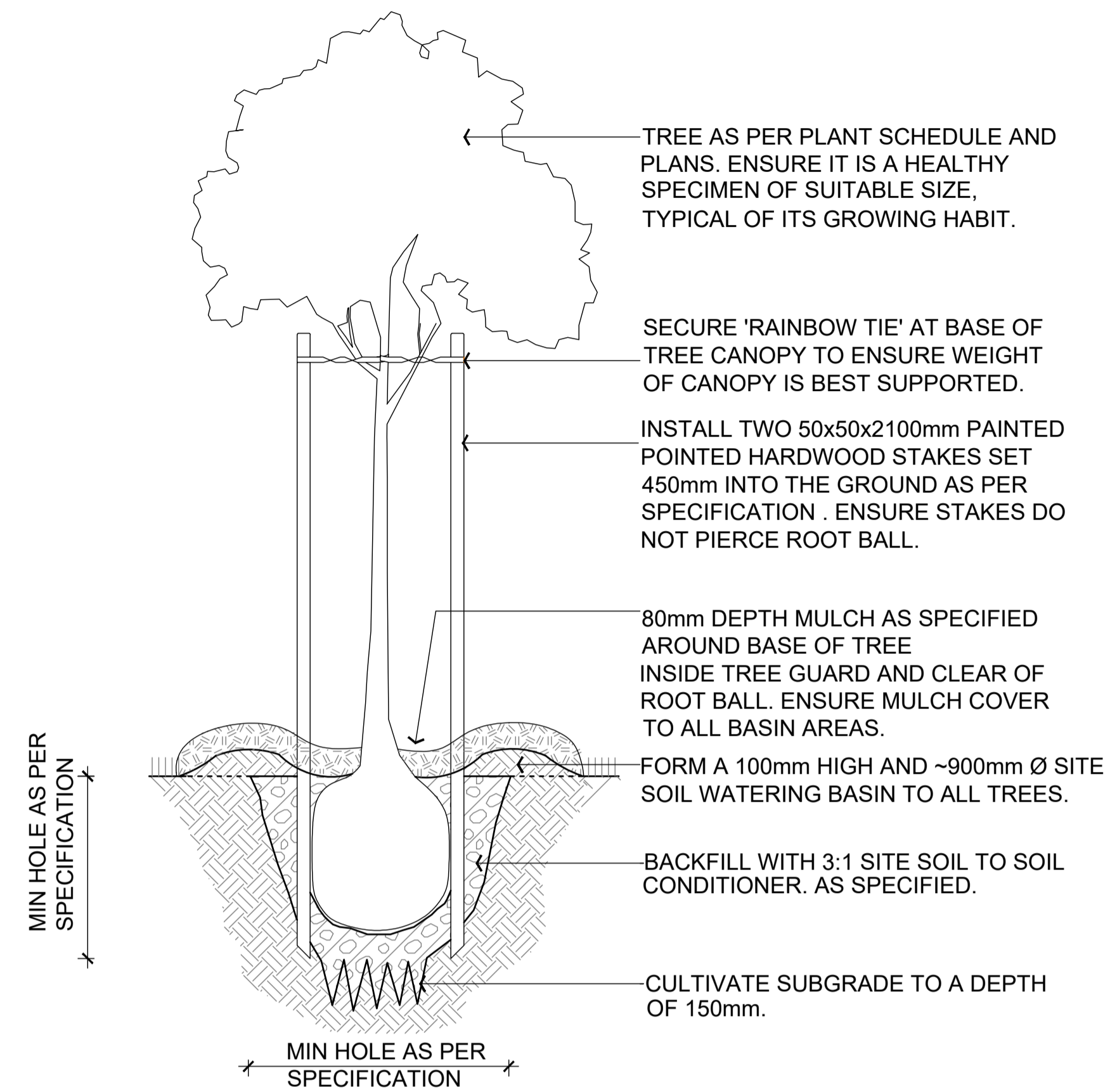
2. MULCH

- MULCH IS CHUNKY PINE BARK WOOD CHIPS ONLY. SHREDDED, CRUSHED OR FINE PINE BARK SHALL NOT BE USED EITHER ALONE OR MIXED WITH CHUNKY PINE BARK.
- MULCH IS TO BE COMPLETELY FREE OF ALL NOXIOUS WEEDS, SEEDS AND FUNGUS, INSECT PESTS AND OTHER DELETERIOUS MATERIAL.
- ALL GARDEN BEDS AND TREE SURROUNDS TO BE MULCHED TO A MINIMUM DEPTH OF 75MM, KEEPING MULCH CLEAR OF PLANT STEMS.
- TIDY AND GRADE MULCH AFTER APPLICATION, FINISHING 10MM BELOW SURROUNDING HARD SURFACES.

3. IRRIGATION

- ALL GARDEN BEDS TO BE IRRIGATED. INSTALL A SUB-MULCH DRIP SYSTEM FOR ALL GARDEN BEDS.
- CONTROLLER TO BE AUTOMATIC SYSTEM WITH RAIN SENSOR. LOCATION TO BE CONFIRMED ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR LAYOUT DESIGN AND INSTALLATION OF IRRIGATION SYSTEM.
- THE INSTALLATION TASK SHALL ENCOMPASS ALL OF THE WORK AND MATERIALS WHICH IS REQUIRED TO SUPPLY AND INSTALL THE SYSTEM INCLUDING VALVES, CONDUITS, WIRING, PIPE WORK, CONTROLLER ETC.
- AT TIME OF COMPLETION THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED, WORKING EFFICIENTLY AND EFFECTIVELY AND WATERING TIMES PROGRAMMED.

TYPICAL DRAWINGS

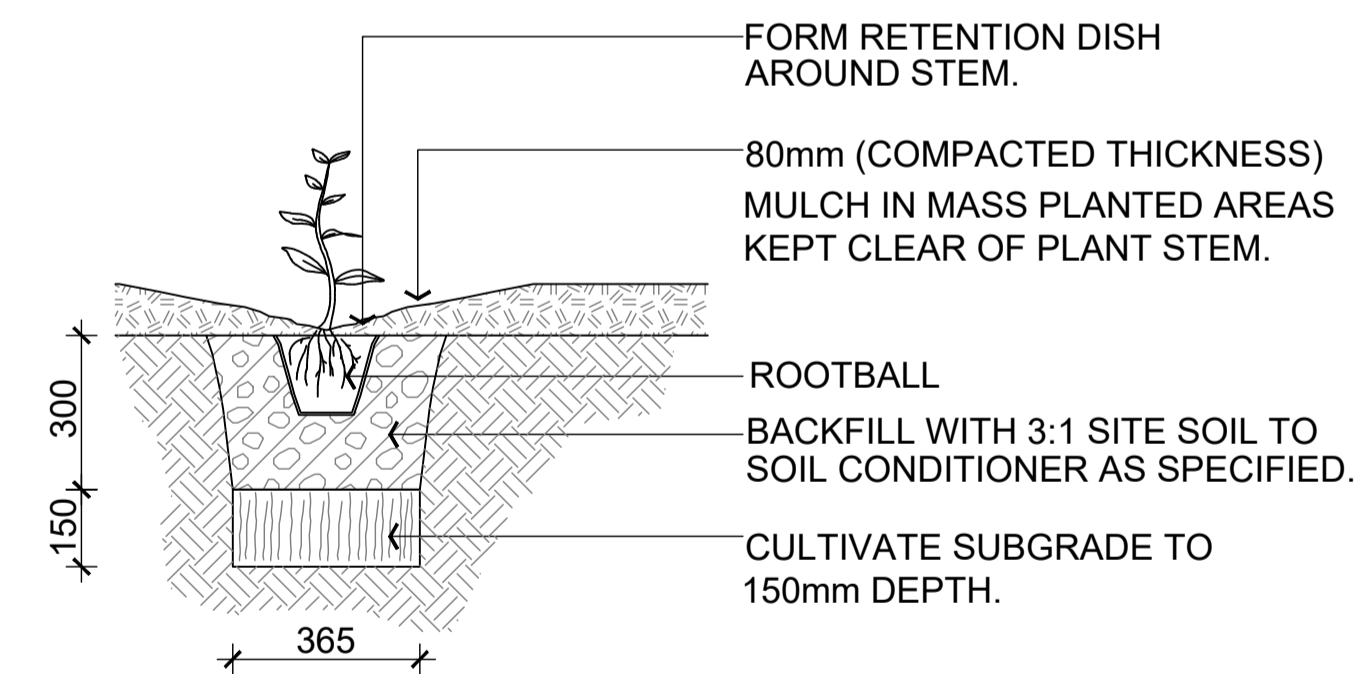


NOTES

- GREENWOOD ENTERPRISES OR SIMILAR ROOT CONTROL BARRIERS TO BE INSTALL FOR ALL TREES TO MANUFACTURER SPECIFICATIONS
- REFER SPECIFICATION FOR ALL TREE PLANTING REQUIREMENTS

1 TYPICAL TREE PLANTING SECTION

NOT TO SCALE



NOTES

- REFER SPECIFICATION FOR ALL PLANTING REQUIREMENTS

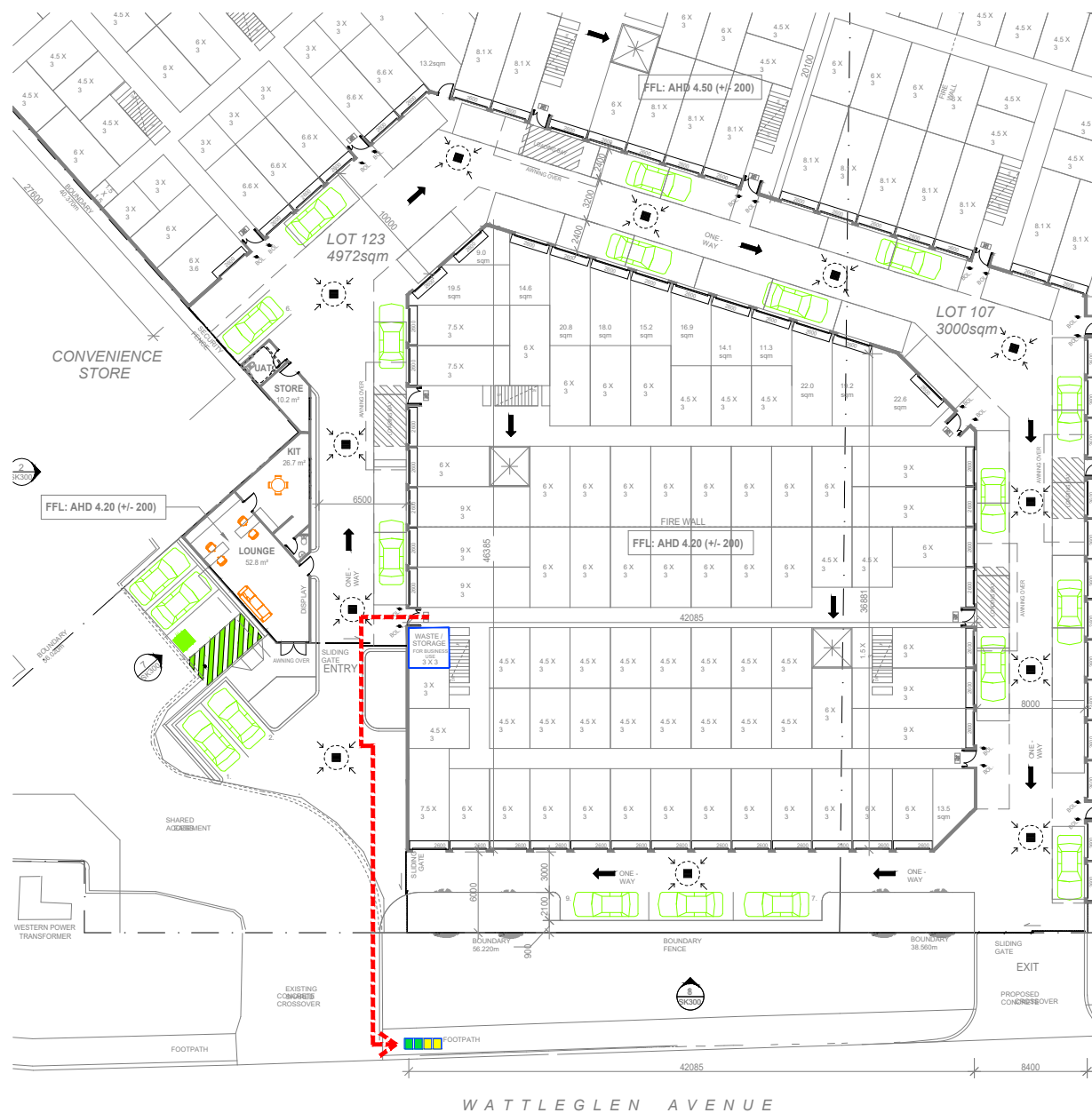
2 TYPICAL POT PLANTING SECTION

NOT TO SCALE

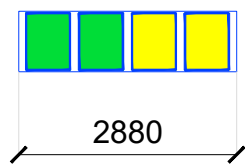


revision/issue	description	drawn	checked	date
A	DEVELOPMENT APPLICATION	AC	AC	15.03.2023
PROJECT	PROPOSED STORAGE FACILITY	drawn	description	
location	8-10 WATTEGLEEN AVENUE, ERSKINE	AC	PLANTING SPECIFICATIONS AND TYPICAL DRAWINGS	
DATE	15.03.2023	drawn	checked	date
PROJECT NO	23245	REV NO	02	
SCALE	A1	DATE	15.03.2023	
COMPANY	URBAN RETREAT GARDEN DESIGN	PROJECT NO	23245	REV NO
WEBSITE	www.urbanretreatgardens.com.au	SCALE	A1	DATE
EMAIL	enquiries@urbanretreatgardens.com.au	PROJECT NO	23245	REV NO
PHONE	0438 926 313	SCALE	A1	DATE

WASTE MANAGEMENT PLAN - SELF-STORAGE FACILITY
8-10 WATTEGLEEN AVENUE, ERSKINE

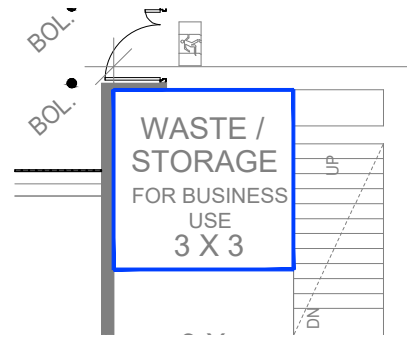


(SOURCE: MODUS DESIGN)

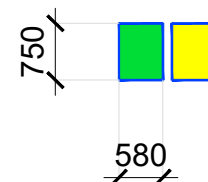
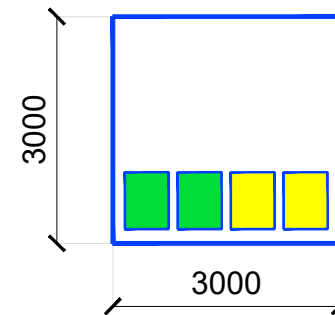


BIN PRESENTATION/COLLECTION AREA
(WATTEGLEEN AVENUE)

PRESENTATION PATHWAY



(SOURCE: MODUS DESIGN)



WASTE MANAGEMENT

- This Waste Management Plan (WMP) applies to the self-storage facility on the subject land.
- The WMP forms part of the development approval for the self-storage facility.
- **Site Works and Construction.** Skip bins will be provided on-site for waste associated with site works and during the construction of the self-storage facility. The skip bins will provide for off-site sorting and recycling of waste to minimise landfill. During construction, sub-contractors are responsible for sorting waste products into appropriate bins where possible. Waste from construction is to be supervised by the builder. Where possible, sub-contractors are to use products that can be reused or easily sorted prior to being sent to landfill. Sub-contractors are to be informed of their responsibilities to maintain site cleanliness and adhere to the waste management practices described herein during site works and construction.
- **On-site storage.** One (1) bin store to be provided, providing for the storage of four (4) bins, two (2) for general waste and two (2) for recyclable waste. Waste and on-site storage will be by/is for the self-storage operator only.
- **Staff.** Staff are to manage bins in the bin area to ensure one bin is full before the next one is used. Staff will present full bins to the bin presentation pad on the verge on collection day (returning when emptied). Staff (or a bin cleaning contractor) responsible for ensuring bins are clean.
- **Collection.** Kerbside waste collection will take place on Wattle Glen Avenue as depicted on this WMP. Kerbside presentation pad will be 2.88m long.
- **Collection management.** Bin presentation/collection pad at the front of the self-storage facility will be highly accessible and convenient/safe to use by staff.
- Bins will be positioned on the presentation/collection pad on collection day. The City of Mandurah collection service will empty the bins into its waste and recycling trucks. The City's vehicles will then remove the waste from the verge for processing. On the same day following waste collection, bins will be returned to the internal bin storage area.
- **Notification.** The Business Process Plan for the self-storage facility will include this WMP. Owners/staff will be aware of the requirements of the WMP and their responsibilities for waste storage and management as they apply to the site (in accordance with this WMP, as amended).
- **Changes.** Changes to the WMP must be approved by the City of Mandurah. Should the approved WMP fail to deliver a safe, effective and efficient waste management service, the City will liaise with the owners and/or the self-storage facility management to review, update and approve the WMP.

A	WMP	23.05.24	MW 23.05.24.01
REV	DESCRIPTION	YY.MM.DD	DRAWING NUMBER
Issued for design intent only. All areas and dimensions are subject to detail design + survey			

SCALE 1:500
SHEET A3

3/ 210 Queen Victoria Street,
North Fremantle WA 6159
www.mwurban.com.au

PO Box 214
North Fremantle WA 6159

2 SUBJECT: Proposed Amendment No.2 - Local Planning Scheme 12,
Lot 9001 Beacham St Coodanup, Additional Use, Restaurant / Cafe
Business Services
DIRECTOR:
MEETING: Planning and Community Consultation Committee
MEETING DATE: 11 July 2023

Summary

At its meeting of 23 August 2022, Council agreed to adopt an amendment to the City's Local Planning Scheme 12 (The Scheme) for the purpose of advertising. The proposed amendment seeks to amend Part 3.4, Table 4 of The Scheme to allow for the development of a café as an additional land use on the subject lot.

The City has advertised the proposed amendment in accordance with the *Planning and Development (Local Planning Schemes) Regulations 2015*, for a period of 60 days and the City received five submissions, with two supportive, one raising concern and two objecting.

For the reasons outlined in this report, City officers recommend the proposed amendment be granted approval by Council and that it progresses to the Western Australian Planning Commission and ultimately the Minister for Planning for endorsement and gazettal.

Disclosure of Interest

Nil

Location



Property Details

Applicant: Element
Owner: Peel Rise PTY LTD
Directors: TJ Lloyd

PH Lloyd
BX Killigrew
LP Killigrew

Scheme No 12 Zoning: Residential
Peel Region Scheme Zoning: Urban
Lot Size: 4.8 Hectares (portion subject to proposed amendment
2066m²)
Topography: Predominantly flat
Land Use: Currently vacant

Previous Relevant Documentation

- G.9/8/22 23 August 2022 Council resolved to adopt the proposed Scheme Amendment for the purpose of advertising.
- G.22/6/20 23 June 2020 Council resolved to proceed Scheme 12 to final approval by the Western Australian Planning Commission and the Minister for Planning.
- G.18/4/19 30 April 2019 Council adopted a modified Scheme 12 and Local Planning Strategy which incorporated changes suggested by the Environmental Protections Authority.
- G.6/01/17 24 January 2017 Council adopted draft Local Planning Scheme and Strategy for forwarding to the Western Australian Planning Commission and the Environmental Protection Authority for consent to advertise the draft Scheme.

Background

The subject lot forms a portion of currently undeveloped land in Coodanup in the area commonly known as Placid Waters. There have been a number of subdivision approvals relating to the large site, but as yet they have not been developed. The landowner advises it is intended that the approved subdivisions will be progressed. Of particular relevance to the proposed Scheme amendment is the layout as approved in *Attachment 2.1* and *Attachment 2.2*, WAPC subdivision approvals 154023 and 161087 respectively.

Comment

Land Use

Under the provisions of The Scheme, the land use 'Restaurant / Café' is currently an 'X' or prohibited land use in the Residential zone. Section 3.4 of The Scheme provides for 'additional uses' (Table 4). The proposed amendment seeks to modify Table 4 of The Scheme in order to add 'Restaurant / Café' as an additional land use. Should the proposed amendment be approved after the advertising process, a restaurant/ café would become a discretionary "D" land use specifically for that particular lot identified being lot 9001 Beacham Street, rather than broadly throughout the Residential zone. Council and its delegated officers could use discretion to determine the suitability of the proposed development considerate of matters such as available parking, noise and traffic.

Being a 'D' discretionary land use, the development would need a development approval and through that process, the City would have the opportunity to apply conditions, assess the parking provision and building design.

In the 'Residential' zone, The Scheme lists a number of objectives, including:

"to provide for a range of non-residential uses, which are compatible with and complementary to

residential development”.

The proposed amendment is considered to be consistent with this objective and retains the zoning of the land as ‘Residential’ while allowing the alternative land use subject to a development approval. If in the future, the land owner wishes to develop the site into dwellings, that would still be a permitted land use. The amendment applies only to the subject lot.

Context

The subject site, once created, is an unusual triangular shape which abuts the Regional Open Space Reserve and the Serpentine River to the east, vacant residential land to the north (subject to WAPC 154023 – *Attachment 2.1*) and low density existing housing to the south and west. The subject site is separated by a narrow public open space reserve to the nearest dwellings on Macquarie Drive and approved, but as yet undeveloped smaller lots to the west (subject to WAPC 161087 – *Attachment 2.2*). Importantly, the subject lot, once created, will not share a boundary with any other private property, lending itself favourably to consideration of an alternative land use to residential.

Local Amenity

Currently the area is not well serviced by commercial amenities such as cafes with the nearest café currently operating approximately 2.5km away on Darwin Terrace. The only land nearby zoned as an activity centre where a café could be developed, is almost 2km to the northwest on the corner of Coodanup Drive and Wanjeep Street (as yet undeveloped).

The development would potentially provide a destination for residents and visitors to the area and in the absence of a Local Centre, meet some of the roles and functions of a local centre as a meeting place.

Access

There is an existing reserve on the eastern edge of existing dwellings along Macquarie Drive which accommodates a dual use path. The subdivision depicted in *Attachment 2.1* also includes a similar reserve where a similar path will be developed and the subject lot is serviced by the future extension of Norton Avenue.

Development Standards

It is considered appropriate that any future development of a café should be assessed against the development standards for a cafe as set out in the ‘Neighbourhood Centre’ in the Scheme. That is, setbacks and parking provision should be consistent with the standards applied in a “Neighbourhood Centre”.

MEAG Comment

Based on the proposal seeking an amendment to the land use permissibility of the subject site rather than actual development, it is considered this item does not have any impact on the natural environment and therefore has not been referred to Mandurah Environmental Advisory Group for comment.

Consultation

In accordance with the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015*, subsequent to receiving consent to commence advertising from the Environmental Protection Authority (EPA), the City advertised the proposal in the following ways:

- directly letter / email notification to surrounding landowners (35 in total);
- sign on-site;
- notification on the City’s website; and
- notification in the local newspaper.

As a result of this consultation the City received five submissions which are summarised below:

Owner / Address	Submission (Summarised comments)	Comment
<p>1. Robert Wroth 22 Macquarie Drive Coodanup</p> <p>and for</p> <p>Valerie Del Borrello 24 Macquarie Drive Coodanup</p>	<p>a. Raise concerns with the subject site being a heritage site and query how the heritage building 'Nairn Farmhouse' has been removed without consequence.</p> <p>b. Believe the wording should put 'café' first and preferably, remove reference to 'restaurant'. There is broader community concern for the establishment of a restaurant, however less so for a café.</p> <p>c. Concern that the ultimate development of the lot may have a deleterious effect on local wildlife including kangaroos and birdlife. Suggestion to ensure any development includes stipulations to reduce hard surfaces and limits the use of fertilisers.</p> <p>d. Concern for existing vegetation on the site and suggest it be maintained through any development of the site.</p> <p>e. Suggests requirements to ensure that all parking for any future development is contained on the site so as not to adversely impact surrounding properties.</p>	<p>a. The subject site does not appear on the City's Heritage list. While noted there appears to have been a building on the subject site until 2014 according to aerial photography, the removal of this building, in the absence of heritage protection, would not have required planning consent.</p> <p>b. While it is believed the ultimate intent is the development of a café, the definition is as presented in the Model Scheme definitions.</p> <p>c. Should the amendment be ultimately approved, it simply allows for the owner to apply for development approval. Through the assessment of such an application, officers can influence the development outcomes.</p> <p>d. City officers would always seek to retain high quality vegetation where possible and incorporate it into development designs.</p> <p>e. Any assessment of development proposals will consider the amenity and impact on surrounding land.</p>
<p>2. Pamela Adams 26 Placid Waters Parade Coodanup</p>	<p>a. Concerns for the environmental impact on the Serpentine River and the vegetation and wildlife it supports.</p> <p>b. Seeks to ensure the strip along the river remains uncleared and protected from degradation.</p> <p>c. Concerns that a restaurant / café may cause additional impacts on the natural environment by way of litter generation and suggests fencing is provided that catches loose litter.</p>	<p>a. Noted, however future development of the subject site, whether of a commercial development or a dwelling, will be assessed with the impact on environment a key consideration.</p> <p>b. The lot is separated from the river edge by a reserve, which at its narrowest point is approximately 22 metres wide.</p> <p>c. Any future development of a commercial nature would require a waste management plan as a standard condition.</p>
<p>3. Adam Santa Maria</p>	<p>a. Supports the proposal as it will</p>	<p>a. Noted.</p>

via e-mail	<p>provide an important amenity for the community to meet and interact.</p> <p>b. Advocate for the riverfront access to encourage additional local tourism.</p>	<p>b. The subject site is separated from the river edge with a reserve. Access to the river is not currently proposed or supported,</p>
4. Sarah Hargreaves 9 Pallid Road Coodanup	<p>a. Fully support the proposed amendment and feel it is positive for the community and will provide a social hub.</p>	<p>a. Noted.</p>
5. Wayne Thomas via e-mail	<p>a. Strongly object to the proposal with particular concerns relating to additional traffic.</p> <p>b. Concerned that the addition of a café / restaurant in the area will adversely impact the amenity of the area.</p>	<p>a. Noted, however there is no current development proposal and as such the scale and impact on traffic is unknown. Future development of a commercial nature would require information relating to traffic impact.</p> <p>b. Given the size of the site, its accessibility and the context of it not directly abutting any other private land, the proposed future land use is considered to be acceptable in principle and appropriate to potentially consider a development application for it in the future. It is important to note the proposed amendment seeks to add the restaurant / café use as a discretionary use which will require development approval and allows further consideration of amenity based on what is proposed and allows conditions to be applied.</p>

Internal Consultation

Strategic Planning

Statutory Environment

The proposed amendment is undertaken in accordance with the *Planning and Development Act 2005* and the *Planning and Development (Local Planning Schemes) Regulations 2015*.

The proposed amendment is considered to be a standard amendment based on:

- (a) *the amendment relates to a zone that is consistent with the objectives identified in the scheme for that zone;*
- (b) *the amendment is consistent with a local planning strategy for the scheme that has been endorsed by the Commission;*
- (c) *an amendment to the scheme so that it is consistent with the region planning scheme that applies to the scheme area;*
- (d) *the amendment that would have minimal impact on land in the scheme area that is not the subject of the amendment;*

- (e) *the amendment that does not result in any significant environmental, social, economic or governance impacts on land in the scheme area; and*
- (f) *is not an amendment that is a complex or basic amendment.*

Should Council resolve to support the proposed amendment, the amendment documentation will be forward to the West Australian Planning Commission and if it is progressed, ultimately to the Minister for Planning for final endorsement and gazettal.

Policy Implications

Nil

Financial Implications

The City received \$3500 in fees as per the provisions prescribed in the *Planning and Development Regulations 2009*. These fees are prescribed on a cost recovery basis in order to cover officer time and costs incurred by the City including costs for advertising and administration.

It is not anticipated there will be any ongoing financial implications for the City.

Risk Analysis

The risk is considered minimal based on the context of the site and the relatively passive nature of the proposed amendment. Whilst acknowledged some concerns were raised through the advertising process, officers are confident they can be adequately addressed through conditions of development approval.

Strategic Implications

The following strategy the City of Mandurah Strategic Community Plan 2020 – 2040 are relevant to this report:

Economic:

- Promote and foster investment aimed at stimulating sustainable economic growth.
- Facilitate and advocate for sustainable local job creation, and industry growth and diversification.

Social:

- Promote safety within the community through urban design.
- Provide a range of social, recreational and cultural experiences for our residents and visitors to enjoy and take pride in.

Conclusion

If ultimately approved, the proposed amendment results in the opportunity for the owner of the specific lot to develop a café on the subject site. Given the size of the site, its accessibility and the context of it being a standalone site that does not directly abut any other private land, the proposed future land use is considered to be acceptable in principle and appropriate to potentially consider a development application for it in the future.

The proposed future land use is considered to be consistent with the objectives of the Scheme and the diversity of land uses and is considered to be compatible with its surrounds and addresses a gap in the provision of such amenities in the area.

While there have been some concerns raised through the consultation phase, it is considered these concerns can be adequately addressed through the development application phase.

It is recommended the proposed amendment be granted final approval and be progressed to the WAPC and Minister for Planning for consideration and determination.

NOTE:

Refer:

- (a) **Attachment 2.1 Subdivision WAPC ref 154023**
- (b) **Attachment 2.2 Subdivision WAPC ref 161087**
- (c) **Attachment 2.3 Scheme Amendment Map**

RECOMMENDATION

That the Planning and Community Consultation Committee recommend that Council:

1. In accordance with Regulation 50(2) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, notes the submissions received in respect to Amendment No 2 to the City of Mandurah Local Planning Scheme No 12 and endorses the response to the submissions as contained within the submissions table in this report;
2. In accordance with Regulation 50(3)(a) of the *Planning and Development (Local Planning Schemes) Regulations 2015* determines to SUPPORT WITHOUT MODIFICATION Amendment No 2 to the City of Mandurah Local Planning Scheme No 12 with the Scheme Amendment text to read as follows:

(a) *Modifying clause 3.4, Table 4 of the Scheme by adding the following:*

No	Description of Land	Additional Use	Conditions
A2	Portion of Lot 9001 on Plan 7468 Coodanup (Lot 69 on WAPC approval 154023)	Restaurant/Café('D')	Development shall be in accordance with the standards prescribed for a Restaurant/Café in a 'Local Centre'

(b) *Amending the Scheme Maps accordingly.*

3. Authorises the Mayor and the Chief Executive Officer, in accordance with Section 9.49a of the *Local Government Act 1995*, to execute under Common Seal Amendment No. 2 to Local Planning Scheme No 12 and forward the amendment to the Western Australian Planning Commission seeking final approval by the Minister for Planning.

PROPOSED SUBDIVISION

**LOT 9000 on PLAN 406041,
COODANUP**

Date: 25 July 2016

Scale: 1:1,000 @ A1, 1:2,000 @ A3

Project Manager: TP

Checked: TP

Drawn: LC

Drawing No. 716-415 CPIA 2016-07-25.DGN



LEGEND

- Subject site
- Existing cadastre
- Proposed lot
- Powerdome
- Powerpole
- Light Pole
- Electrical Meter Box
- Telstra Pit
- Water Meter
- Ground Hydrant
- Drainage Manhole Centre
- Sign
- Bollard
- Bore
- Contour (0.25m interval)
- Water main
- Sewer
- Powerline
- Telstra
- Gas main
- Tree Trunk 0.3 - 1.0m Dia
- Tree Trunk 1.0 - 1.5m Dia



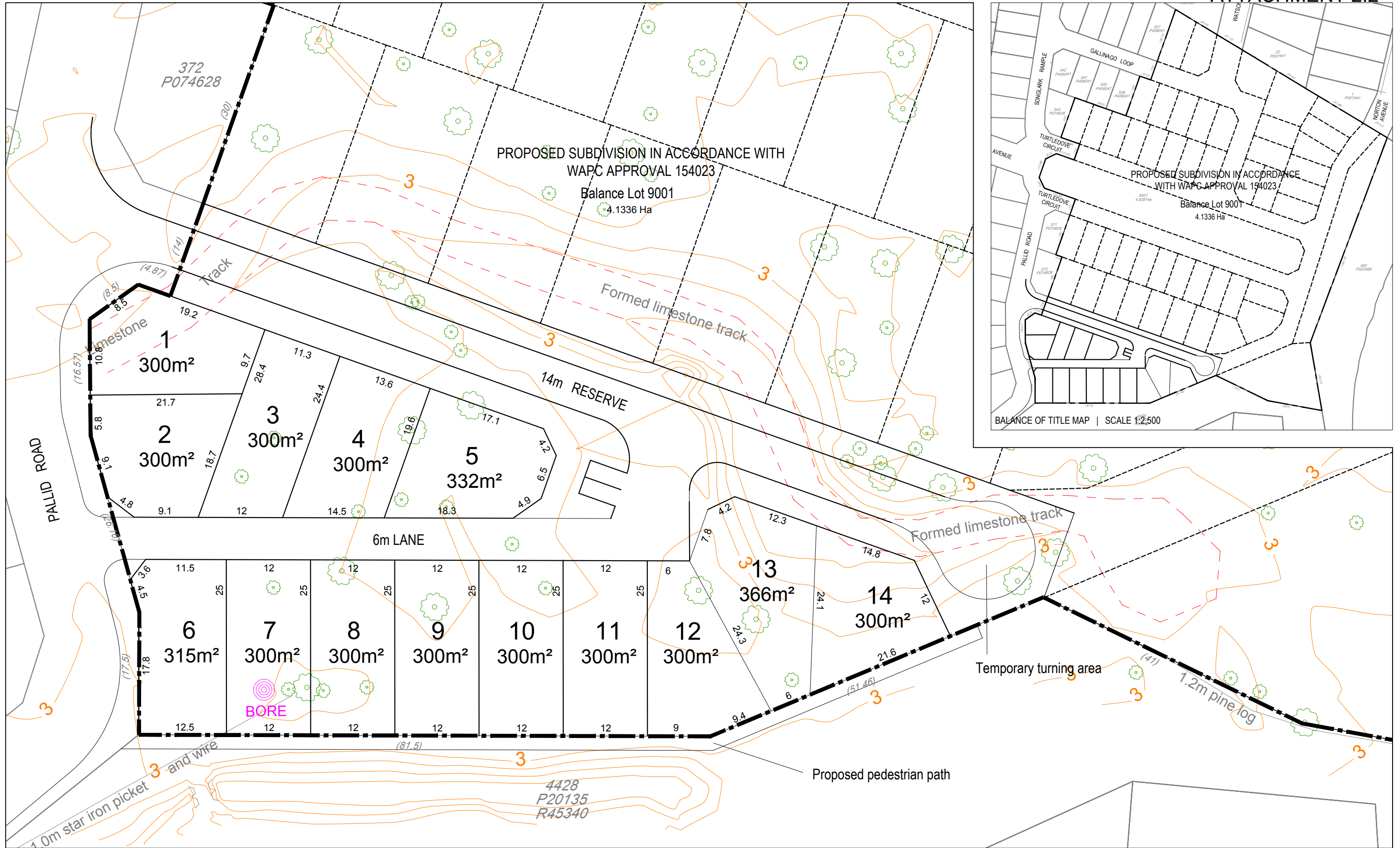
URBAN DEPARTMENT OF PLANNING

DATE	FILE
29/07/2016	154023

Level 7, 182 St Georges T
PO Box 7373 Clusters Sq
Tel +61 8 7289 8300
The Planning Group WA

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Plan of Subdivision
 Lot 9001 on Deposited Plan 74628
 Coodanup

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
15-Jul-2021	161087

Date: 22 June 2021 Scale: 1:1000 @ A3 File: 716-459 SU02 Staff: TP/LC Checked: TP



LEGEND

Peel Region Reserved Land

 Regional Open Space

Local Reserved Land

 Public Open Space

Zones

 Residential

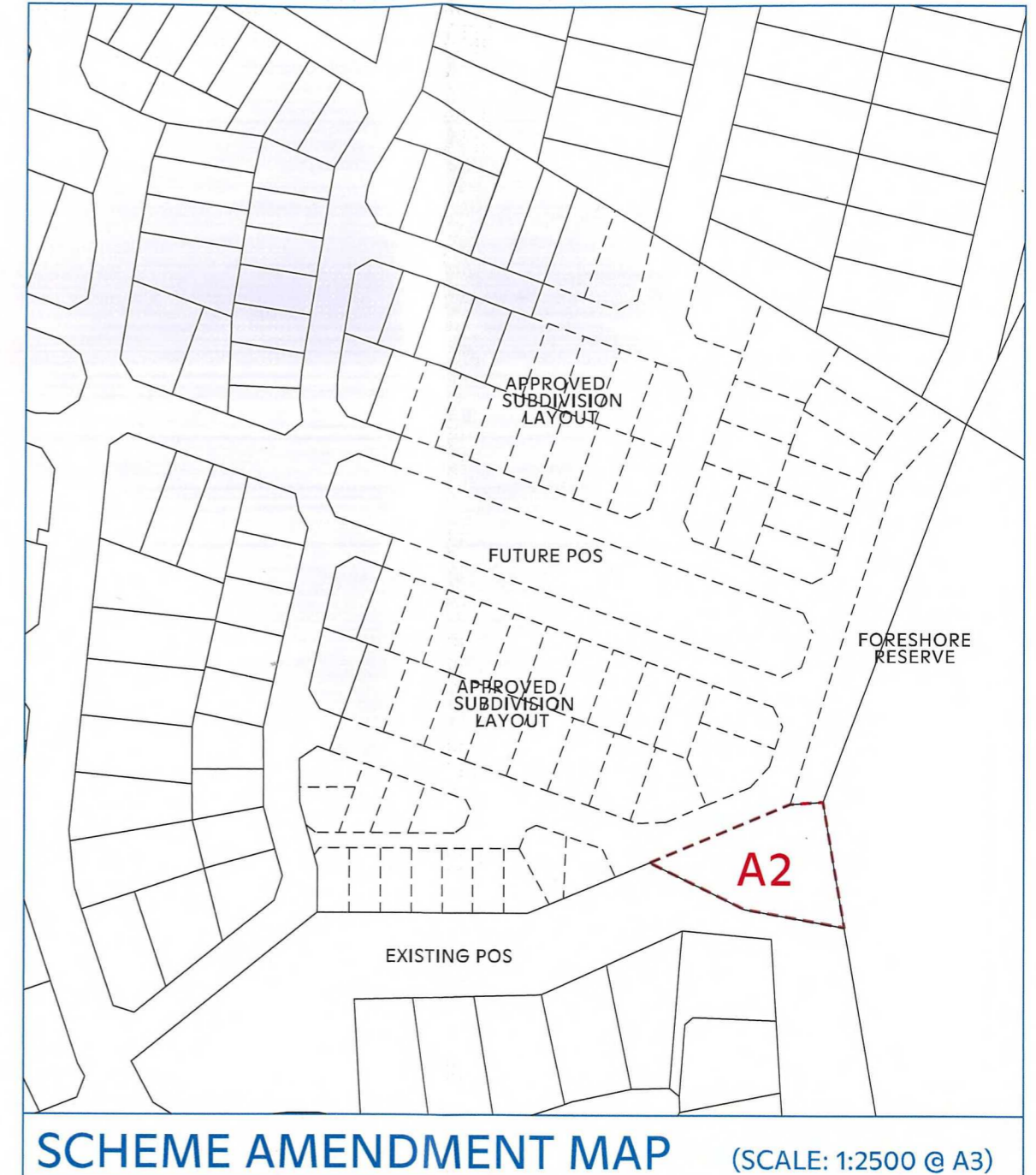
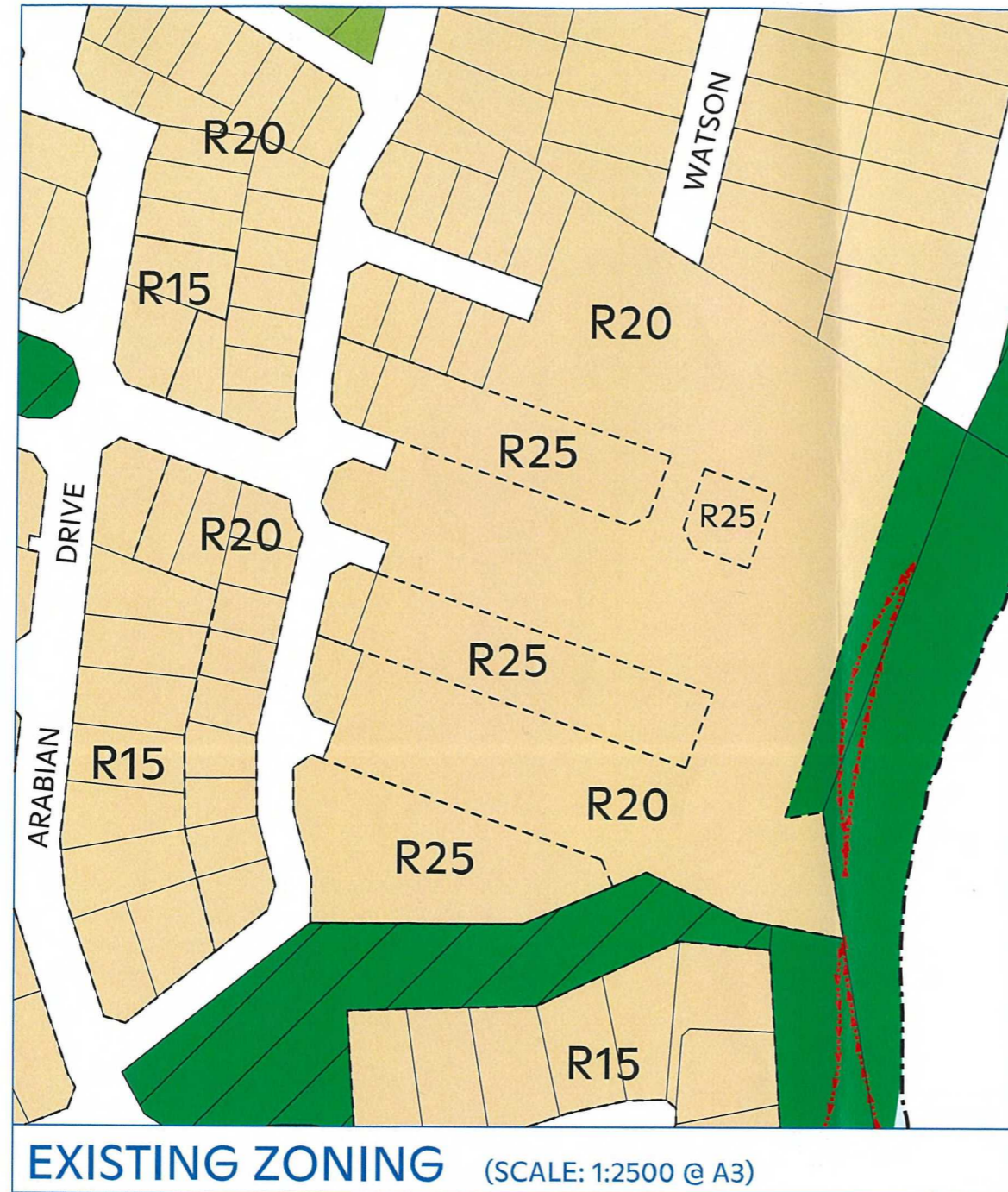
 Additional Use

 No Zone

Additional Information & Overlays


 Residential Density Code

 SCA1: Flood Hazard Areas



ADOPTION

ADOPTED BY RESOLUTION OF THE CITY OF MANDURAH AT THE ORDINARY MEETING OF THE COUNCIL HELD ON THE


MAYOR


CHIEF EXECUTIVE OFFICER

FINAL APPROVAL

1. ADOPTED FOR FINAL APPROVAL OF THE CITY OF MANDURAH AT THE ORDINARY MEETING OF COUNCIL HELD ON THE

THE COMMON SEAL OF THE CITY OF MANDURAH WAS HEREUNTO AFFIXED BY AUTHORITY OF A RESOLUTION OF THE COUNCIL IN THE PRESENCE OF:

MAYOR

CHIEF EXECUTIVE OFFICER

2. RECOMMENDED / SUBMITTED FOR FINAL APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION

DELEGATED UNDER S.16 OF THE P&D ACT 2005

DATE

3. FINAL APPROVAL GRANTED

MINISTER FOR PLANNING

DATE

PLANNING AND DEVELOPMENT ACT 2005

**CITY OF MANDURAH
LOCAL PLANNING SCHEME NO 12**

AMENDMENT NO 2

SEAL

